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Provided By



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Inspection Address



Report Information

Client Information

Client Name

Inspection Information

Report/Agreement #

Inspection Date:

Inspection Time:

Progress Inspection Report

Introduction

This is a progress construction report documenting the level of construction phase to this structure.

The Scope of the Inspection:

This report Complies with Australian Building Standards AS 4349.0-2007. Inspection of Buildings General Requirements.

Only the person named at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements:

Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Pre Inspection Agreement:

Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

We note that our observations are visual and are carried out to all readily accessible external and/or internal areas of the subject property as instructed by the Client. The inspection does not include areas obscured by fixtures, fittings, furniture, floor coverings, or wall finishes. All observations of the external façade are made from the ground only and do not include areas obscured by vegetation.

The purpose of this report is to document the progress and or completion of a particular area in a construction process. This report is not a report of compliance with any Construction Code or Australian standard, but a simple record of where the level of construction is. This report is not a certificate of compliance and is not a defect report. In certain States in Australia Mandatory or Critical Staged inspections are conducted by Council, Principal Certifying Authority (PCA) and Registered building inspectors.

This report does not override or contravene a report from any relevant authority.

This is a Visual Inspection only and in Accordance with AS4349.0

This visual inspection is limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sarking membrane, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

Scope of Report

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

Please read the entire report. Refer to the terms & conditions as they form part of the report

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2. WALL & ROOF FRAMING
3. TERMS AND CONDITIONS

INSPECTION INFORMATION

General Inspection Information

Weather Conditions

The weather was dry at the time of inspection

General Description of Structure Inspected

Duplex

Roof Cladding

Metal cladded roof

Construction Type

Brick and clad

Footings Type

Concrete slab on-ground

Present At Inspection

Client - as named in report
Site Supervisor/Manager

Roof Design

Flat roof

WALL & ROOF FRAMING

Roof Frame

Roof Bracing

There are no evidence of the installation of roof bracing to resist racking forces. Selection and the type of the bracing should be \$ " (() * " + (& , \$. / 0 1245) * by a qualified structural engineer.



Roof Tiedown Connection

There are no evidence of the installation of tie-down brackets to resist uplifting forces. Selection and the type of the bracing should be "(() * " +(& , \$. / 0 1245) * by a qualified structural engineer.



Sarking & Insulation

When installing metal roofing, the insulation should provide to reduce heat gain and reduce noise from rain and thermal expansion and contraction. Thus, the blanket and foil insulation installed directly under the cladding is the best option to achieve above requirements. You should refer to the BASIX requirements of thermal insulation materials.



Roof Cover/Clad

Roof Cladding

In progress. Recommend re-inspection when completed.



Wall Frame

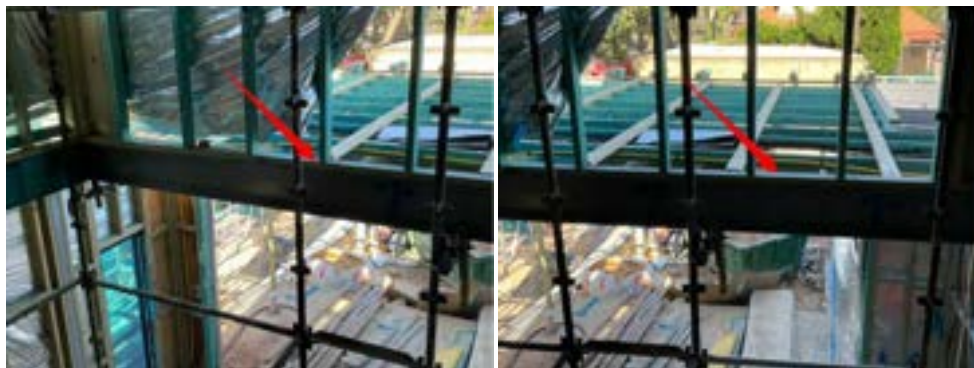
Lintels

The lintel size should be selected with AS 1684 and additional lintels required if any load applied to the lintel.



Frame Fixings

The bottom plate is not fixed/fastened to the steel beam. Self drilling tek screws should be used to secure the bottom plate.



Wall Bracing

Type (a) metal angle braces were used for the external and internal wall bracing. The capacity of the current bracing is only 0.8kN/m. The location and the type of bracing should be selected with AS 1684.2 or by structural engineer. Current bracing should be assessed by a structural engineer and an adequacy certificate should be provided to the project client.





Junction Blocks

All intersecting walls must be fixed at their junction with blocks fixed to each wall with 2/75 mm nails. Blocks must be installed at 900 mm max. centres. Refer to AS 1684.2-2010 Clause 6.2.1.3.



Studs

The maximum size and spacing of cuts, holes, notches, and similar section-reductions, in studs and plates, must be in accordance with Figure 6.4 and Table 6.1. Holes in studs and plates must be located within the middle half of the depth and breadth of the member, respectively. Refer to AS 1684.2 Clause 6.2.1.4.



Floor Frame

Fixing Nail

It appears to be clout nails were used to the joist hanger connection. All nails should be corrosion protected flat-head connector nails. Clout nails must not be used for this purpose.



End Blocking Deep Joists

At the end deep joists and rafters, a continuous trimming joists or solid blocking should be provide at not more than 1.8m.



76 FINISHED TIMBER SIZES	
SEASONED SOFTWOOD	+5,-0mm
UNSEASONED SOFTWOOD	F7+3,-3mm
SEASONED HARDWOOD	+2,-0mm
UNSEASONED HARDWOOD	-3,-3mm
(SEE ALSO CLAUSE 1.6.2 IN AS 2082)	
77 ALL TIMBER JOINTS AND NOTCHES TO BE 100mm MINIMUM FROM LOOSE KNOT SEVERE SLOPING GRAIN, GUM VENS OR OTHER MINOR DEFECTS.	
78 BLOCKING IS NOT REQUIRED FOR JOISTS SPANNING LESS THAN 3m. FOR JOISTS SPANNING GREATER THAN 3m AND LESS THAN 4.2m PROVIDE ONE ROW OF BLOCKING MID-SPAN. FOR JOISTS SPANNING GREATER THAN 4.2m AND UP TO 6.0m PROVIDE TWO ROWS OF BLOCKING AT 1/3 POINTS. FOR DEEP JOISTED FLOORS WHERE A CONTINUOUS TRIMMING JOIST IS NOT PROVIDED AT END OF JOISTS. BLOCKING IS REQUIRED AT 1800 MAXIMUM CENTERS. (REFER TO AS 1684)	

Deep Joists

Deep joists and rafters spanning 3m to 4.2m blocking must be provided in the mid-span according to the structural engineer's plan.



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Structural Beams and Posts

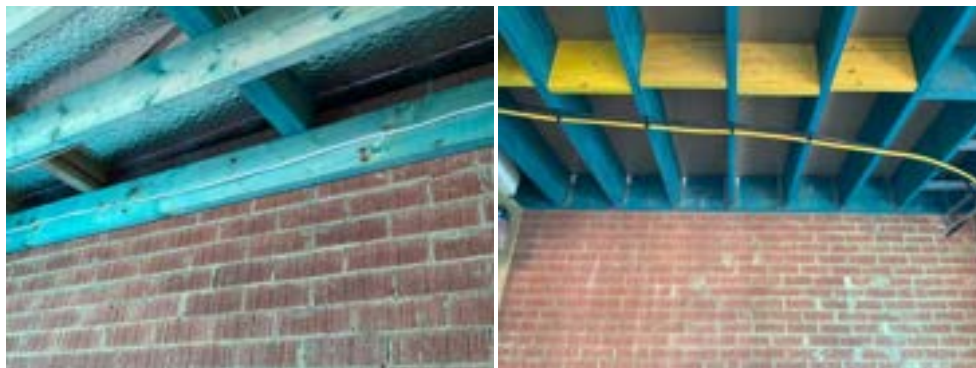
Timber Beam Support

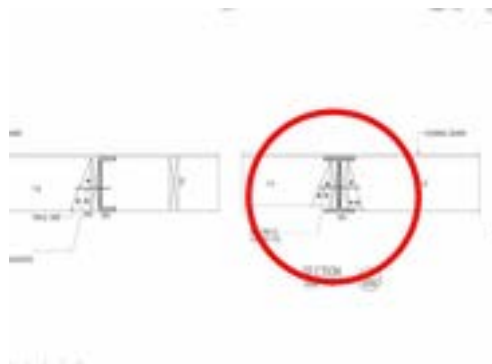
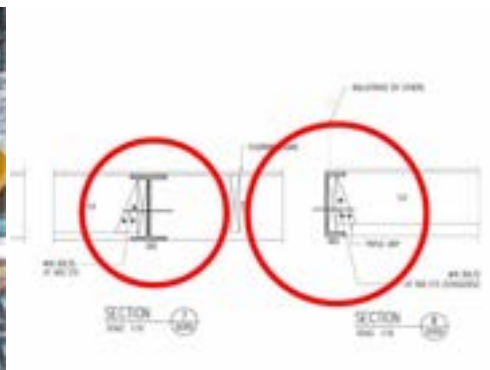
The timber beam supports are not comply as per the engineer's plan. All timber beams must be supported on triple studs with double noggings or 90x90 hardwood post.



Timber Beam Connection

The timber beam to brick wall is not comply with the engineer's plan. M16 bolts must be used for timber beam (NB1) connection to the brick wall but M12 bolts were used for the connection.





TERMS AND CONDITIONS

Terms and Conditions

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This report does not override or contravene a report from any relevant authority.

Definitions

Completed: The progress of a particular stage of construction has been completed in accordance with any documents provided.

Incomplete/Contrary to plans: The progress of a particular stage of construction has been not completed or is not in accordance with any documents provided.

In Progress: The progress of a particular stage of construction is still in progress and has yet to be completed.

Not Applicable: Not applicable according to the type of construction and/or documents provided.

This is a Visual Inspection only and in Accordance with AS4349.0

This visual inspection is limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sarking membrane, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

Scope of Report

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

Limitations

Nothing contained in the Report implies compliance to any building code or Australian Standard and that any inaccessible or partly inaccessible area(s) or section(s) of the property being inspected by the Inspector on the date of the inspection were free from defects latent or otherwise.

This report is an assessment of the condition of the premise to the best of this firm and inspector's abilities and competence and qualification. Neither the inspection company or the Inspector will be held responsible for areas of specialised knowledge.

DISCLAIMER OF LIABILITY

No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

No Liability shall be accepted on an account of failure of the Report to notify any compliance issues relating to this structure and report.

CONSUMER COMPLAINTS PROCEDURE

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report

The Inspection and Report was carried out by:

State License Number:

Insurance Accreditation Number:

Contact the Inspector on:

For and on Behalf of: Besafe Group Pty Ltd